



Town of Fairplay
901 Main Street • P.O. Box 267
Fairplay, Colorado 80440
(719) 836-2622
www.fairplayco.us

Town of Fairplay, Colorado Request for Proposals

Exterior Renovations for Town-Owned Building

The Town of Fairplay is seeking proposals from qualified contractors to complete exterior renovations for the Town-owned building located at 501 Main Street, Fairplay, CO. The scope of work, requirements and architectural and structural plans for the project may be obtained at Fairplay Town Hall, 901 Main, Fairplay or online at <https://www.fairplayco.us/rfps>.

Proposals must be received by **4:30 p.m. on Friday, July 29, 2022** and may be submitted by mail to the attention of Janell Sciacca, Town Administrator at Town of Fairplay, PO Box 267, Fairplay, CO 80440 or personal or professional delivery to Town of Fairplay Town Hall at 901 Main Street, Fairplay, CO, 80440.

Questions regarding the RFP should be addressed to Town Administrator Janell Sciacca by phone at 719-836-2622 x-102 or by email at jsciacca@fairplayco.us.

The Town of Fairplay, Colorado, reserves the right to reject any and all proposals.

“Where History Meets the High Country”



Town of Fairplay

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Town of Fairplay Request for Proposals 501 Main Exterior Building Renovations

The Town of Fairplay is seeking proposals from qualified contractors to complete exterior renovations for the Town-owned building located at 501 Main Street. The scope of work, requirements and architectural and structural plans for the project may be obtained at Fairplay Town Hall 901 Main Street, Fairplay, CO or online at <https://www.fairplayco.us/rfps>.

Proposals must be received by **4:30 p.m. on Friday, July 29, 2022** and may be submitted by mail to the attention of Janell Sciacca, Town Administrator at Town of Fairplay, PO Box 267, Fairplay, CO 80440 or personal or professional delivery to Town of Fairplay Town Hall at 901 Main Street, Fairplay, CO, 80440.

Questions regarding the RFP should be addressed to Town Administrator Janell Sciacca by phone at 719-836-2622 x-102 or by email at jsciacca@fairplayco.us and must be submitted no later than one week prior to submittal deadline. The Town of Fairplay River reserves the right to reject any or all proposals.

Contractor to provide:

- Building Permit (fee waived)
- Timeline for project
- Timeframe
- Start Date
- Warranty
- Signed town contract
- Payment and performance bond for work on publicly owned property
- Proof of Insurance
- Fairplay Business License
- Payment terms
- References

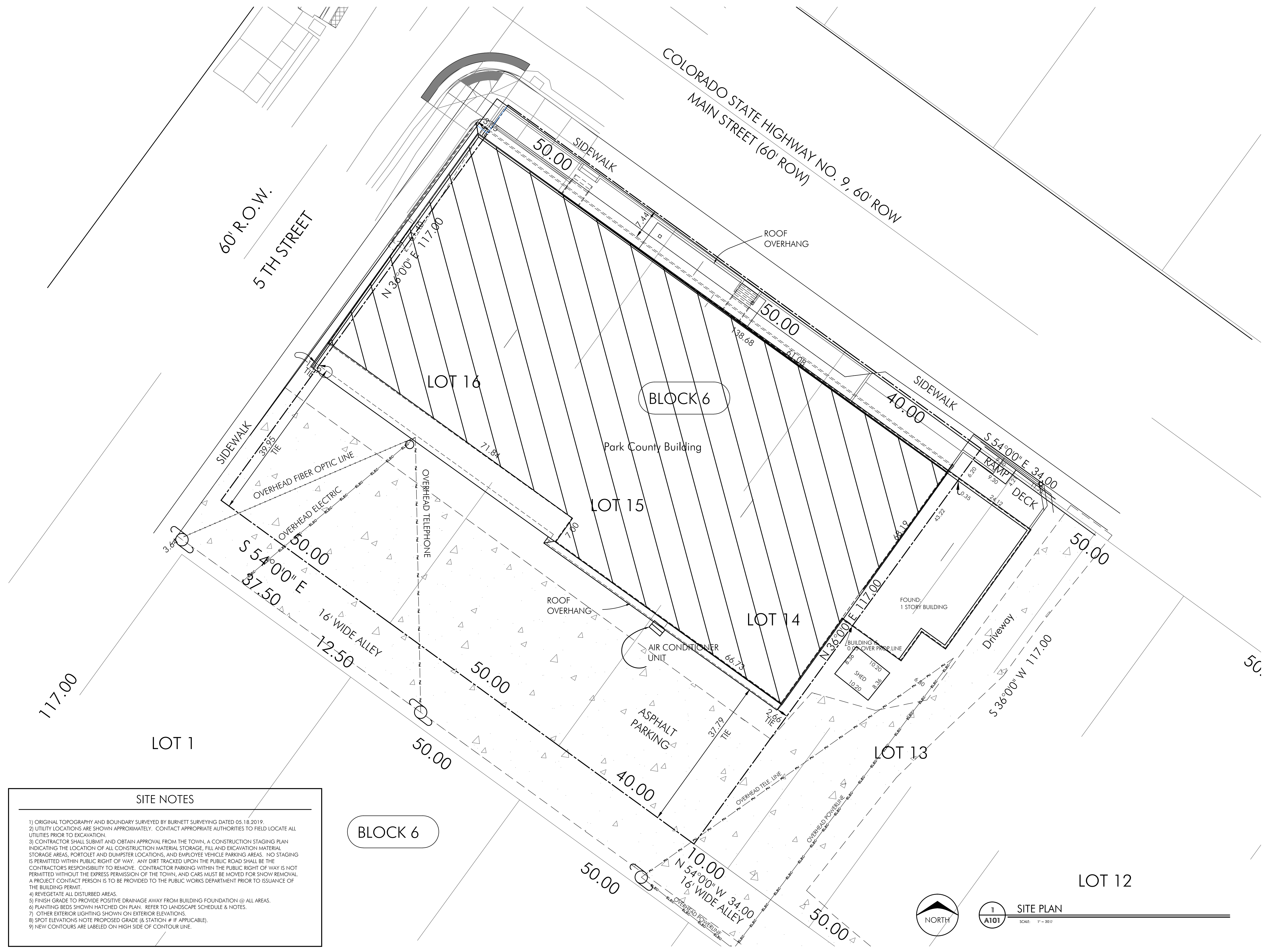
Scope of Work:

- Work area to be closed off to the public with appropriate barricades and cones.
- Coordinate with CDOT and obtain any necessary permits due to proximity with State Highway 9.
- Contractor is responsible for disposal of all materials. Dumpster to be used in approved location with daily site clean-up.
- Contractor shall provide sanitary facilities for workers to be used in approved location.
- Bid shall include all materials, equipment and labor.
- Permit and required permit sign-offs needed to proceed with each step.
- Excavate area for construction according to architectural and structural engineering plans.
- Construct exterior renovations as specified in provided plans.
- Contractor shall furnish qualified supervision to oversee all work.
- All personnel shall conduct their work in a professional manner with minimal disturbance to others.

“Where History Meets the High Country”

Inspections:

- A Town of Fairplay Building Department Official shall have the right at any time to inspect the materials or equipment used by the contractor.
- A Town of Fairplay Building Official will be responsible for all building inspections. Inspections must be requested by 4:00 p.m. the day before Monday-Friday.



SITE NOTES

- 1) ORIGINAL TOPOGRAPHY AND BOUNDARY SURVEYED BY BURNETT SURVEYING DATED 05.18.2019.
- 2) UTILITY LOCATIONS ARE SHOWN APPROXIMATELY. CONTACT APPROPRIATE AUTHORITIES TO FIELD LOCATE ALL UTILITIES PRIOR TO EXCAVATION.
- 3) CONTRACTOR SHALL SUBMIT AND OBTAIN APPROVAL FROM THE TOWN, A CONSTRUCTION STAGING PLAN INDICATING THE LOCATION OF ALL CONSTRUCTION MATERIAL STORAGE, FILL AND EXCAVATION MATERIAL STORAGE AREAS, PORTOLET AND DUMPSTER LOCATIONS, AND EMPLOYEE VEHICLE PARKING AREAS. NO STAGING IS PERMITTED WITHIN PUBLIC RIGHT OF WAY. ANY DIRT TRACKED UPON THE PUBLIC ROAD SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE. CONTRACTOR PARKING WITHIN THE PUBLIC RIGHT OF WAY IS NOT PERMITTED WITHOUT THE EXPRESS PERMISSION OF THE TOWN, AND CARS MUST BE MOVED FOR SNOW REMOVAL. A PROJECT CONTACT PERSON IS TO BE PROVIDED TO THE PUBLIC WORKS DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
- 4) REVEGETATE ALL DISTURBED AREAS.
- 5) FINISH GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION @ ALL AREAS.
- 6) PLANTING BEDS SHOWN HATCHED ON PLAN. REFER TO LANDSCAPE SCHEDULE & NOTES.
- 7) OTHER EXTERIOR LIGHTING SHOWN ON EXTERIOR ELEVATIONS.
- 8) SPOT ELEVATIONS NOTE PROPOSED GRADE (& STATION # IF APPLICABLE).
- 9) NEW CONTOURS ARE LABELED ON HIGH SIDE OF CONTOUR LINE.

501 MAIN STREET EXTERIOR REMODEL

501 MAIN STREET
 FAIRPLAY, CO
 80440

PROJECT # 2005

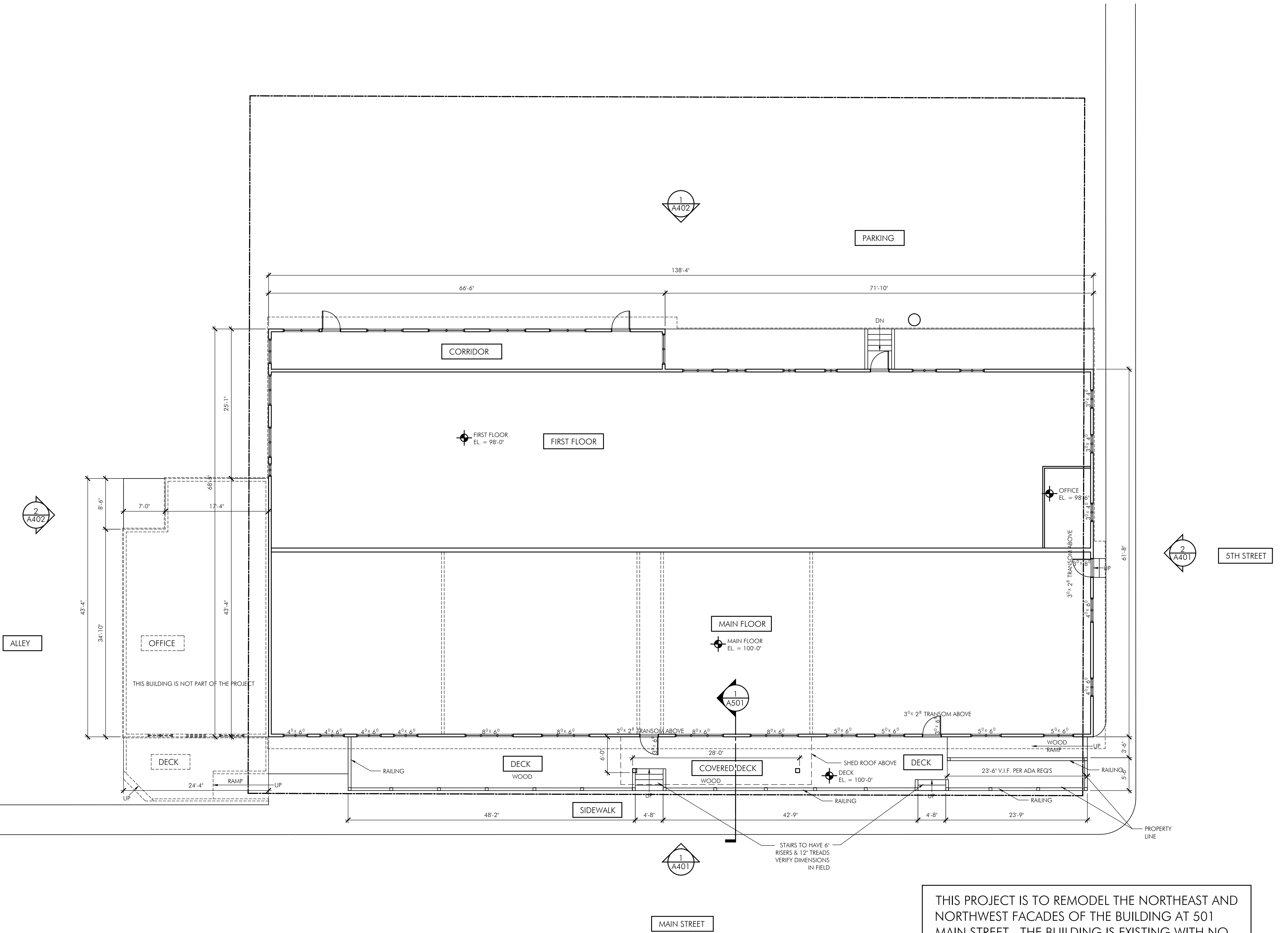
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ISSUE:

PRELIMINARY	01.06.2021
EXISTING COND.	02.10.2021
SCHEMATIC DES.	03.10.2021
DESIGN DEV.	07.15.2021
BOARD MEETING	08.16.2021
BUILDING PERMIT	09.13.2021
MAYORS COMM.	01.18.2022
CDOT REVISION	05.01.2022

SITE PLAN





THIS PROJECT IS TO REMODEL THE NORTHEAST AND NORTHWEST FACADES OF THE BUILDING AT 501 MAIN STREET. THE BUILDING IS EXISTING WITH NO PROPOSED CHANGES TO THE BUILDING FOOTPRINT OTHER THAN THE FRONT DECKS AND LOW ROOF.

501 MAIN STREET
EXTERIOR
REMODEL

501 MAIN STREET
FAIRPLAY, CO
80440

PROJECT # 2005

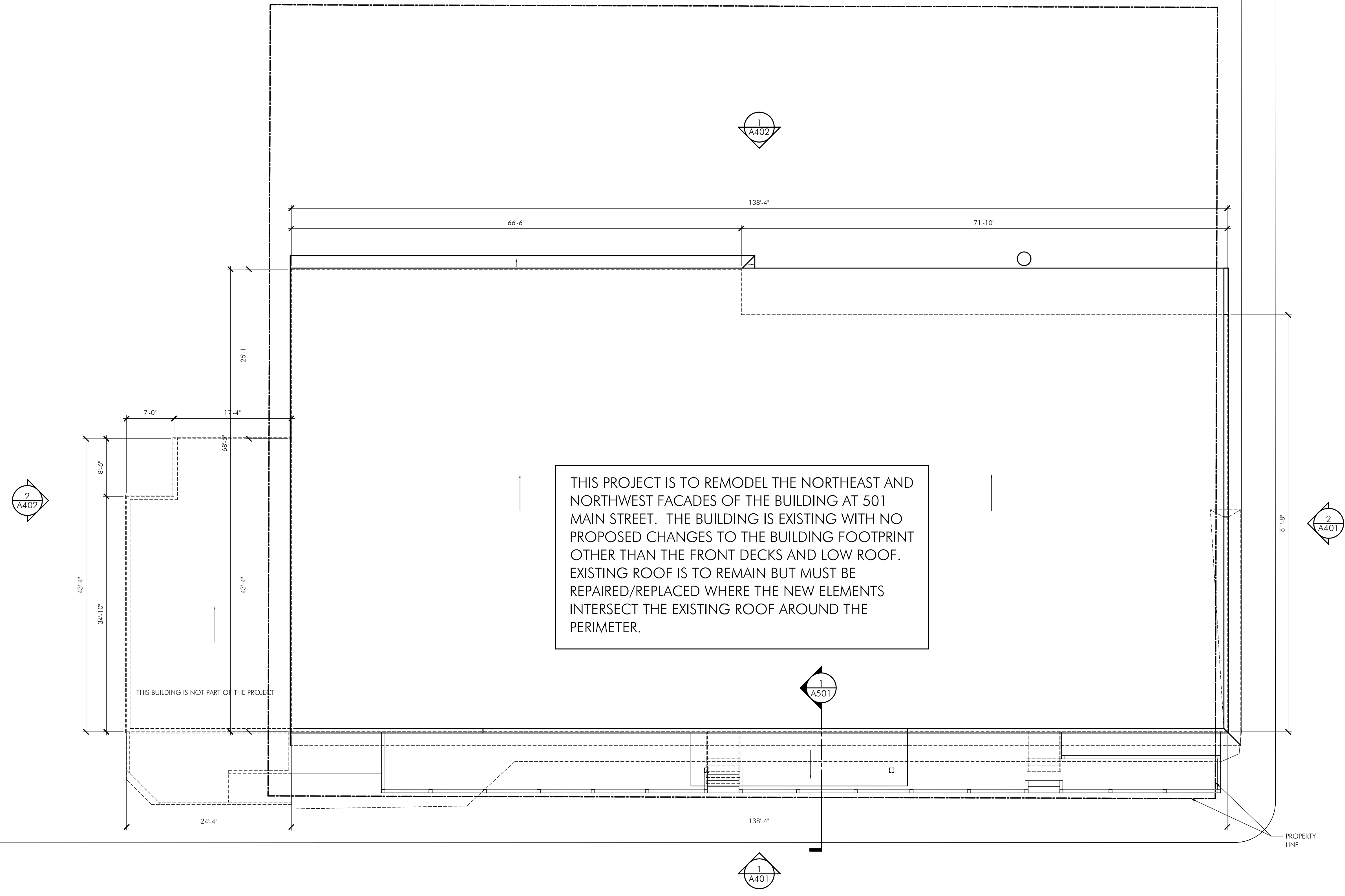
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PROPOSED
MAIN FLOOR PLAN





THIS PROJECT IS TO REMODEL THE NORTHEAST AND NORTHWEST FACADES OF THE BUILDING AT 501 MAIN STREET. THE BUILDING IS EXISTING WITH NO PROPOSED CHANGES TO THE BUILDING FOOTPRINT OTHER THAN THE FRONT DECKS AND LOW ROOF. EXISTING ROOF IS TO REMAIN BUT MUST BE REPAIRED/REPLACED WHERE THE NEW ELEMENTS INTERSECT THE EXISTING ROOF AROUND THE PERIMETER.

THIS BUILDING IS NOT PART OF THE PROJECT

501 MAIN STREET
 EXTERIOR
 REMODEL

501 MAIN STREET
 FAIRPLAY, CO
 80440

PROJECT # 2005

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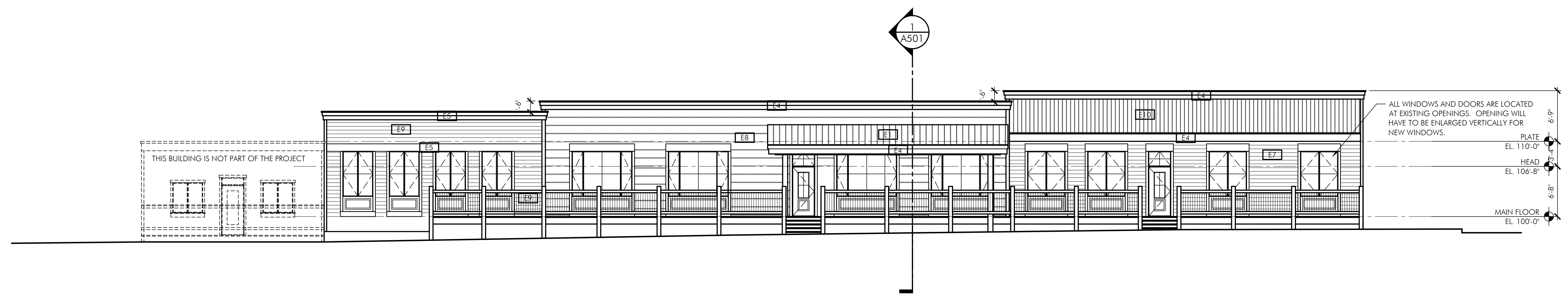
PROPOSED
 ROOF PLAN



1
 A301

PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"



1 PROPOSED NORTHEAST ELEVATION
A401 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE			
TAG	ITEM	MATERIAL	COLOR
E1	METAL ROOF:	CURROGATED METAL	GRAY/RUST
E2	EPDM ROOF:	EXISTING	GRAY
E3	DRIP EDGE:	GALVANIZED STEEL	MATCH FASCIA
E4	FASCIA:	2X6, 2X12 CEDAR	SHERWIN WILLIAMS ROOKWOOD DARK BROWN EXTERIOR PAINT #SW2831
E5	FASCIA:	2X6, 2X12 CEDAR	SHERWIN WILLIAMS CLASSICAL WHITE EXTERIOR PAINT #SW2829
E6	SOFFIT:	1x6 TONGUE & GROOVE (RUN PARALLEL TO EAVE)	TRANSPARENT SEALANT
E7	HORIZONTAL SIDING:	1X8 SHIPLAP	SHERWIN WILLIAMS CLASSICAL YELLOW EXTERIOR PAINT #SW2865
E8	HORIZONTAL SIDING:	1/10 CHANNEL RUSTIC	SHERWIN WILLIAMS RENWICK GOLDEN OAK EXTERIOR PAINT #SW2824
E9	HORIZONTAL SIDING:	1X6 SHIPLAP	SHERWIN WILLIAMS ROOKWOOD MEDIUM BROWN EXTERIOR PAINT #SW2807
E10	VERTICAL SIDING:	1X10 CEDAR BOARDS W/ 1X3 CEDAR BATTENS	SHERWIN WILLIAMS CLASSICAL YELLOW EXTERIOR PAINT #SW2865
E11	DOORS/WINDOWS:	WOOD	MFR STD DARK BROWN
E12	DOOR/WINDOW TRIM:	2X4, 2X6, 2X12 CEDAR	SHERWIN WILLIAMS CLASSICAL WHITE EXTERIOR PAINT #SW2829
E13	CORNER TRIM:	2X6 R.S. CEDAR	SHERWIN WILLIAMS ROOKWOOD DARK BROWN EXTERIOR PAINT #SW2831
E14	EXPOSED BEAMS, POSTS, & TIMBERS	PER STRUCTURAL	SHERWIN WILLIAMS EXTERIOR STAIN #SW3507
E15	PATIOS:	NONE	-
E16	STONE VENEER:	NONE	-
E17	CAP @ STONE WAINSCOT:	NONE	-
E18	GARAGE DOOR SIDING:	NONE	-
E19	PORCH CEILINGS:	1x6 CEDAR	TRANSPARENT SEALANT
E20	DECKS	2X6 REDWOOD	TRANSPARENT SEALANT

NOTES:
IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
PROVIDE 2x2 P.T. EMBEDDED NAILERS @ ALL CONCRETE WALLS WITH OVER 12" CONCRETE ABOVE PROPOSED GRADE.
ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED. FLASH ABOVE ALL OPENINGS.
TYPICAL SIDEWALL FLASHING: ICE & WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS; METAL FLASHING EXPOSED 6" UP WALL; TYPICAL AT ALL SIDEWALL CONDITIONS.



2 PROPOSED NORTHWEST ELEVATION
A401 SCALE: 1/8" = 1'-0"

501 MAIN STREET EXTERIOR REMODEL

501 MAIN STREET
FAIRPLAY, CO
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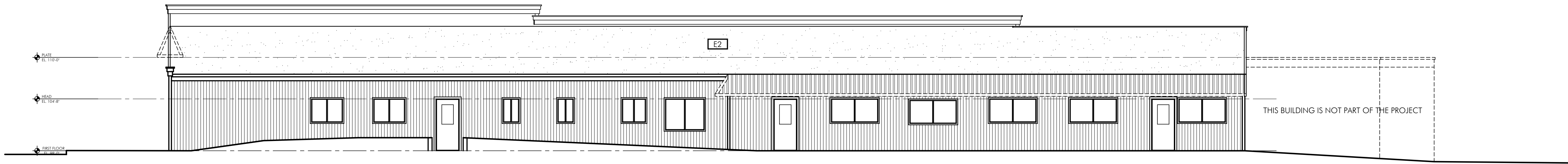
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PROPOSED ELEVATIONS



1
A402 PROPOSED SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

501 MAIN STREET
EXTERIOR
REMODEL

501 MAIN STREET
FAIRPLAY, CO
80440

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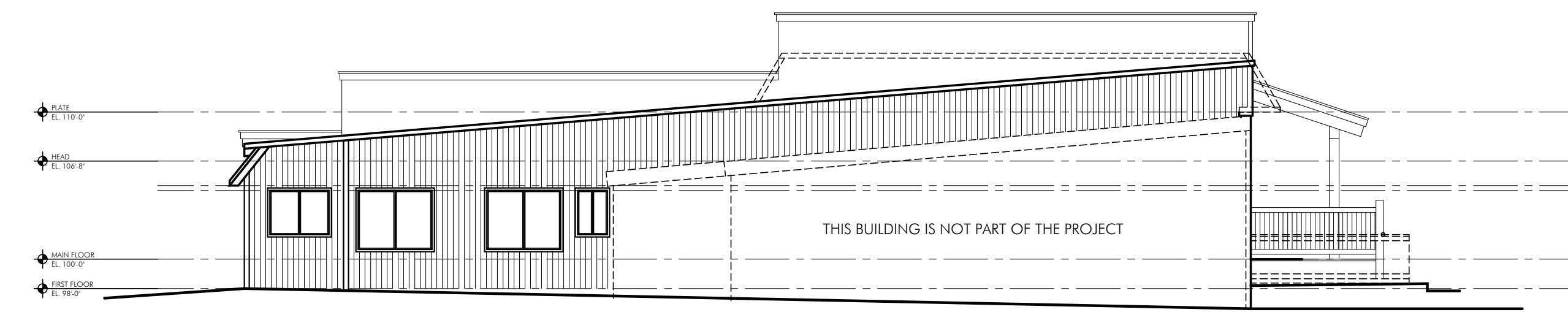
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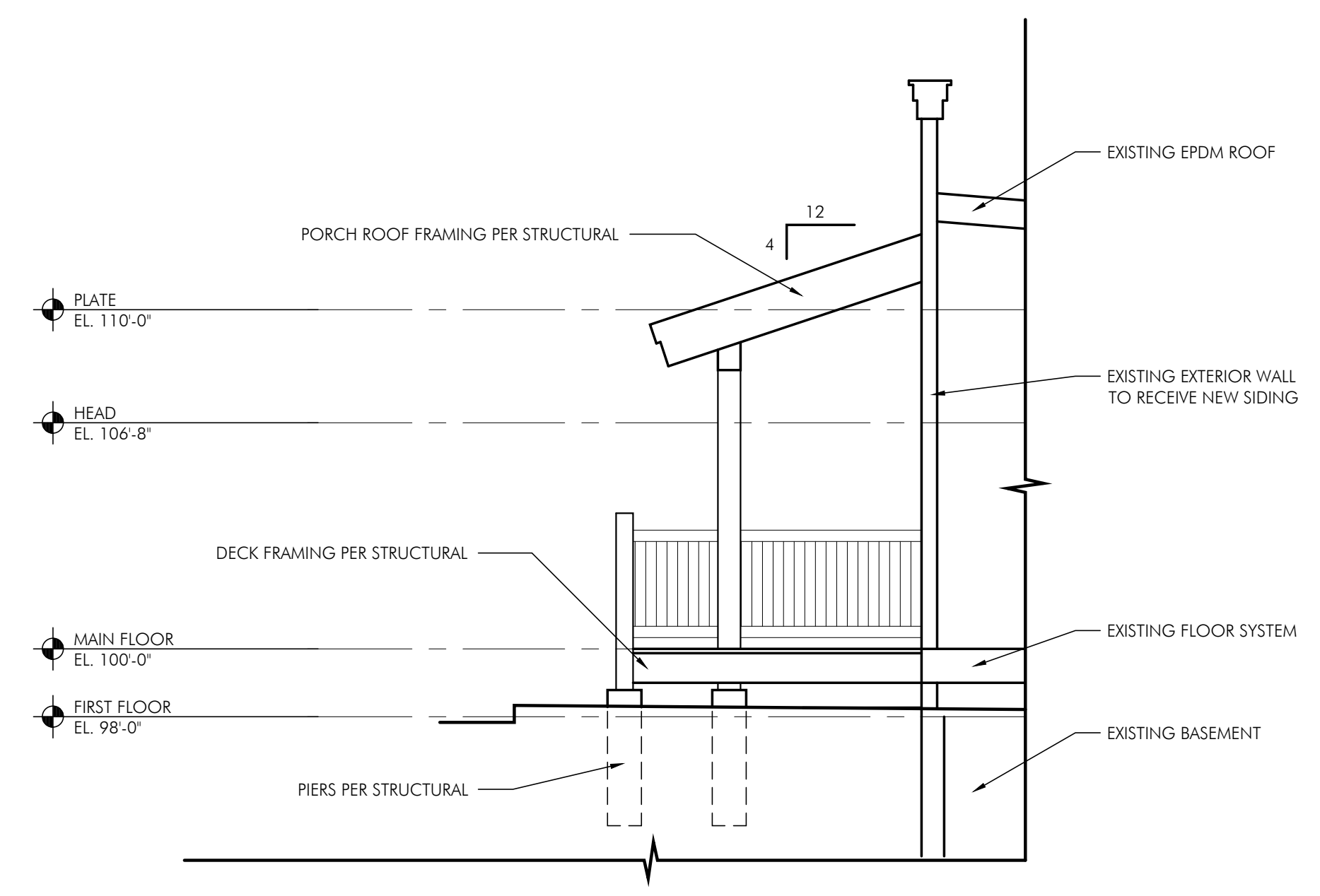
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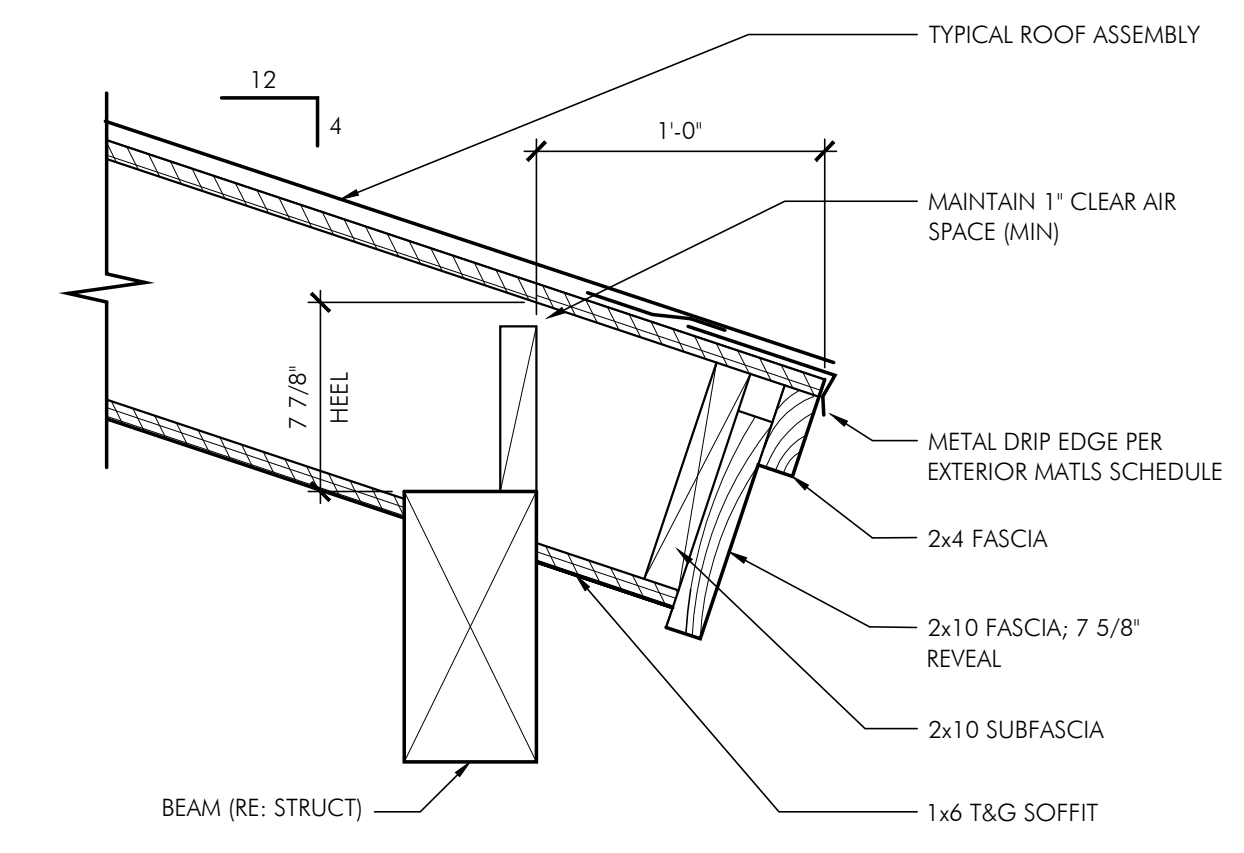
PROPOSED
ELEVATIONS

2
A402 PROPOSED SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

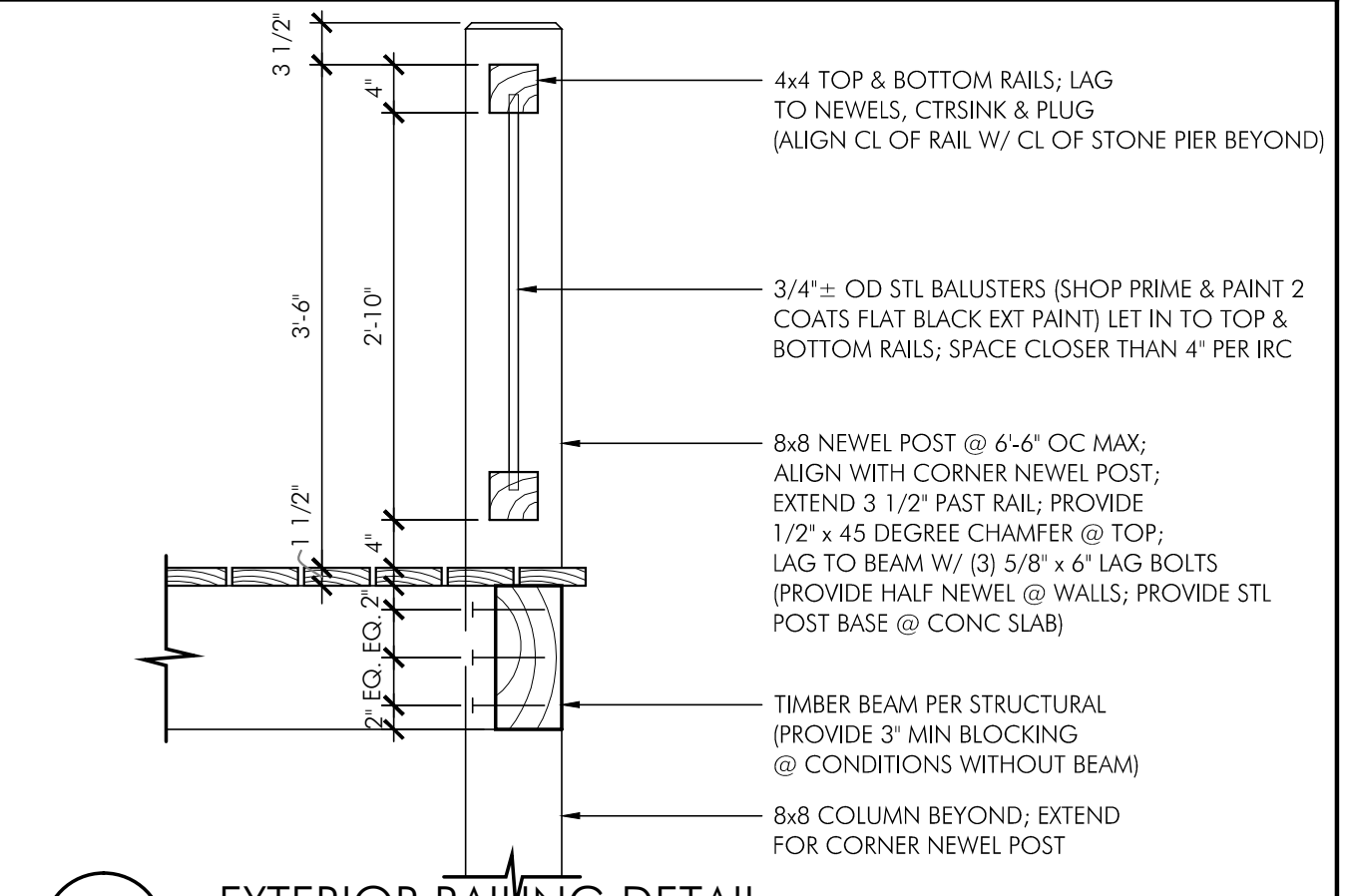




1 SECTION
A501 SCALE: 1/4" = 1'-0"



6 EAVE @ LOW ROOF DETAIL
A502 SCALE: 1 1/2" = 1'-0"



7 EXTERIOR RAILING DETAIL
A502 SCALE: 3/4" = 1'-0"

501 MAIN STREET
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SECTIONS

General Structural Notes:

Design Criteria:
Code Edition: 2012 IBC (International Building Code)

Loads used in design are as follows:
Dead Loads

Table with columns for location (Roof, Floor), framing type (Wood Framing, Deck Framing), and load value (15 psf, 10 psf).

Table for Floor Live Loads: Covered Decks (100 psf), Uncovered Decks (100 psf).

Table for Snow Loads: Elevation (996.3 ft. ASL), Ground Snow Load (65 psf), Flat Roof Snow Load (55 psf), Snow Exposure Factor, Ce (1.00), Snow Load Importance Factor, Is (1.00), Thermal Factor, Ct (1.20), Drift Surcharge loading (36 psf), Total Design Roof Snow Load (91 psf).

Table for Wind Design Data: Analysis Procedure (IBC Alternate All Heights Method), Ultimate Wind Speed, Vult. (115 mph), Nominal Wind Speed, Vasd. (90 mph), Risk Category (II), Wind Exposure (C), Internal Pressure Coefficient (+/- Open).

Table for Seismic Design Data: Analysis Procedure (ASCE7 Equivalent Lateral Force Procedure), Ss (0.294), S1 (0.074), Site Class (D), Sds (0.307), Sd1 (0.119), Seismic Design Category (B).

Table for Geotechnical Design Data: Allowable Soil Bearing Pressure (2000 psf), Frost Depth (24 inches).

Geo-Technical Information

- 1. The foundation design was prepared using an assumed allowable bearing pressure of 2000 psf. Footings shall bear on undisturbed native soils 24 inches below adjacent finished grade. The soils are assumed to be uniform and non-expansive. The design was based on similar conditions of the surrounding area, but the values shall be verified by a site-specific soils investigation by a geotechnical engineer at the time of construction.

Reinforcing Steel:

- 1. All reinforcement detailing, fabrication and placement shall conform to the ACI Details and Detailing of Reinforcement (ACI 315).
2. Unless noted otherwise, all reinforcing bars #5 or larger shall be of deformed bars conforming to ASTM A615, Grade 60. #4 bars or smaller shall be ASTM A615, Grade 40. Welded reinforcing bars shall be ASTM A706, Grade 60.
3. Reinforcement shall be the longest lengths practical. Where splices are necessary, lap splices shall be a minimum of 60 bar diameters for Grade 60 reinforcing and 40 bar diameters for Grade 40 reinforcing, unless noted otherwise. Do not weld or use mechanical splicing.

Reinforced Concrete:

- 1. All structural concrete has been designed in accordance with ACI 318. All structural concrete construction work shall conform to ACI 301 unless noted otherwise.
2. Cast in place concrete shall be made with type II or V cement. Admixtures containing chloride salts shall not be used. Concrete shall have minimum 28 day compressive strengths of:
Element: Minimum Compressive Strength, f'c (psi)
Footings, pedestals, and other concrete not exposed to earth or weather: 4000 psi
Exterior slabs and steps exposed to the weather: 4500 psi
3. Concrete coverage for reinforcing steel shall provide the following:
Unformed surfaces poured permanently against earth: 3 inches
Formed surfaces exposed to earth or weather:
#5 bar or less: 1 1/2 inches
#6 bar or greater: 2 inches
Not exposed to earth, weather, or fluid:
Slabs and walls, interior face: 1 inch
Beam and columns: 1 1/2 inches
4. Hot and cold weather concreting procedures shall conform to the recommendations in the ACI manual of Concrete Practice.

Concrete and Masonry Anchors:

- 1. Anchor bolts are to be ASTM F1554, Grade 36 L type or headed anchor bolts, unless noted otherwise. Embedment shall be a minimum of 16 times anchor diameter unless noted otherwise.
2. Expansion Bolts are to be Kwik Bolt TZ manufactured by Hilti, Inc. Install in accordance with ICC Report ESR-917 or approved update, including standard embedment depths, unless noted otherwise. Proposed substitutions shall have equal or greater capacity and shall be submitted to the engineer for review with product data and code approval reports.
3. Epoxy grouted anchors installed in concrete are to be HIT-Z anchor rods or HAS threaded rods or reinforcing steel installed using HY-200 Adhesive Anchoring System manufactured by Hilti, Inc. Install in accordance with ICC Report ESR-3187 or approved update, including standard embedment depths, unless noted otherwise. Proposed substitutions shall have equal or greater capacity and shall be submitted to the engineer for review with product data and code approval reports.

Wood Framing:

- 1. Wood Framing shall be kiln dried lumber graded and marked in accordance with the following minimum standards unless noted otherwise:
Studs, plates, and miscellaneous framing: Douglas Fir Larch No. 2
Dimensional joists, beams, and headers (2x, 3x, & 4x members): Douglas Fir Larch No. 2
Heavy Timber Beams and Columns (6x and larger members): Spruce Pine Fir No. 1 or Douglas Fir Larch No. 2
Exposed to weather, moisture, or in direct contact with earth or concrete: Southern Pine No. 2
2. Glued Laminated (GL) members shall be fabricated in accordance with ANSI/AITC standard A190.1 and be stamped with an AITC quality mark or APA-EWS trademark. Members shall be in accordance with the following minimum standards unless noted otherwise:
Interior beams not exposed to weather
Single Span Beams: Douglas Fir Combination Unbalanced layup 24F-V4, Fb=2400 psi
Continuous Span or Cantilever Beams: Douglas Fir Combination Balanced layup 24F-V8, Fb=2400 psi
Columns: Douglas Fir Combination 2, Fc=1600 psi
Exterior beams exposed to weather
Single Span Beams: Alaska Cedar Combination Unbalanced layup 20F-V12, Fb=2000 psi
Continuous Span or Cantilever Beams: Alaska Cedar Combination Balanced layup 20F-V13, Fb=2000 psi
Columns: Alaska Cedar Combination 2, Fc=1450 psi
3. Oriented Strand Lumber (OSL) shall be manufactured by Boise Cascade in accordance with the following minimum standards unless noted otherwise:
Rim joists and Blocking (1 1/4 inch minimum thickness): Versastrand 0.8E
4. All wood framing details not shown otherwise shall be constructed equal to or better than the minimum standards of the 2012 IBC (International Building Code)
5. Unless noted otherwise, minimum nailing shall be in accordance with the Fastening Schedules and Details of the 2012 IBC (International Building Code)
6. Provide solid blocking for wood columns and multiple studs through floors to supports below.
7. All steel fasteners, hangers, and plates in contact with pressure treated wood shall be hot dipped galvanized or have other corrosion protection.
8. Roof, floor, and exterior wall sheathing shall be APA rated OSB or plywood for the roof and floor spans as indicated on the sheathing with glue for exterior application. Unless noted otherwise on plans, details, or schedules, sheathing shall meet the following minimum sizes and attachment requirements:
Roof: 19/32 in. sheathing nailed with 10d @ 6" o.c. along panel edges and 12 inches on center in the panel field
Floor: 23/32 in. sheathing nailed with 10d @ 6" o.c. along panel edges and 12 inches on center in the panel field
9. Roof rafters, trusses, and lookout framing shall be attached to walls and bearing beams with H2.5A hurricane clips unless noted otherwise.
10. Hanger-type connections shall be made with Simpson Strong-Tie connectors and manufacturer supplied or specified fasteners.

- 11. Wood Nail Fasteners: Nail sizes specified on the drawings are based on the following minimum specifications:

Table for Wood Nail Fasteners: Columns for ID, Nail Name, Diame, Nail Length. Rows include 8d Box, 8d Common, 10d Box, 10d Common, 16d 16d Sinker.

Alternative nails proposed by the contractor shall be submitted with specifications to the structural engineer prior to construction for review and approval.

- 12. Generic Wood Screw Fasteners: Screw types specified on the drawings are based on the following minimum specifications:

Table for Generic Wood Screw Fasteners: Columns for ID, Screw Name, Diame, Screw Length. Rows include #6 GWB, #8, #10, #12.

Alternative screws proposed by the contractor shall be submitted with specifications to the structural engineer prior to construction for review and approval.

- 13. Manufacturer Specific Wood Screw Fasteners: Manufacturer specific screw types specified on the drawings are based on screws manufactured by Simpson, Inc. Installation shall be in accordance with all manufacturer's requirements and code approval reports ICC-ES ESR-2236 and IAPMO-UES ER-192. Screws shall be in accordance with the following minimum specifications:

Table for Manufacturer Specific Wood Screw Fasteners: Columns for ID, Screw Name, Diame, Screw Length. Rows include SDS, SDWH, SDWS.

Alternative screws proposed by the contractor shall be submitted with specifications to the structural engineer prior to construction for review and approval.

General Requirements:

- 1. Structural erection and bracing: The structural drawings illustrate the completed structure with all elements in their final positions supported and braced. The contractor, in the proper sequence, shall provide shoring and bracing as may be required during construction to achieve the final completed structure. Contact engineer for consultation (not in contract) as required.
2. Dimensions: Check all dimensions against field and architectural drawings prior to construction. Do not scale drawings.
3. Construction practices: The general contractor is responsible for means, methods, techniques, sequences and procedures for construction of this project. Notify structural engineer of omissions or conflicts between the working drawings and existing conditions.
4. Coordinate requirements for mechanical/electrical/plumbing penetrations through structural elements with structural engineer. Prior to installation of such equipment or other items to be attached to the structure, the contractor shall obtain approval for connections and support. Contractor shall furnish required hangers, connections, etc. required for installation of such items, unless specifically noted on plans.
5. Jobsite safety is the sole responsibility of the contractor. All methods used for construction shall be in accordance with the latest edition of the IBC.
6. The structural engineer may make periodic observation visits to the jobsite for determination of general conformance with the construction documents. Such observation visits shall not replace approved inspections by the governing authorities or serve as "special inspections" as may be required by the International Building Code.
7. Though every effort has been made to provide a complete and clear set of construction documents, discrepancies or omissions may occur. Release of these drawings anticipates cooperation and continued communication between the contractor, architect and engineer to provide the best possible structure. These drawings have been prepared for the use of a qualified contractor experienced in the construction techniques and systems depicted.

ABBREVIATIONS

Table of abbreviations: AT (Anchor Bolt), AFB (Above Finished Floor), ARCH (Architect), B (Bottom of Footing), BLDG (Building), BM (Beam), BRG (Bearing), BW (Bottom of Wall), C.I.P. (Cast in Place), CJ (Control Joint), CLR (Clear), CMU (Concrete Masonry Unit), CONC (Concrete), CONT (Continuous), (E) (Existing), EA (Each), E.O. (Edge of), E.S. (Each Side), EXP (Expansion), EXT (Exterior), FD (Floor Drain), FDN (Foundation), FF (Finished Floor), FRP (Fiber Reinforced Panel), FT (Foot), FTG (Footing), H.A.S. (Headed Anchor Stud), HORIZ (Horizontal), HT (Heavy Timber), INT (Interior), JT (Joint), MANUF (Manufacturer), MAX (Maximum), MIN (Minimum), O.A.E. (Or Approved Equal), O.C. (On Center), O.H. (Overhang), PLY (Plywood), PT (Pressure Treated), RE (Reference), REINF (Reinforce), R.O. (Rough Opening), SF (Square Feet), SIM (Similar), SO (Square), SS (Stainless Steel), STD (Standard), STL (Steel), T (Top of), T&B (Top and Bottom), T.O.W. (Top of Wall), TYP (Typical), UNLQ. (Unless Noted Otherwise), VERT (Vertical), V.I.F. (Verify in Field).

SYMBOLS LEGEND

Table of symbols: REVISION MARK, ELEVATION MARK, SECTION CUT LABEL, ELEVATION VIEW LABEL, GRID LINE, BEAM POCKET, BEAM HANGING, BEAM BEARING, BEARING, JOIST OR RAFTER, COLUMN ABOVE, COLUMN, TOP OF COLUMN, WALL STEP, FOOTING STEP, PLYWOOD/SLAB STEP.

MATERIALS LEGEND

Table of materials: CAST IN PLACE CONCRETE, CONCRETE MASONRY UNIT, CLAY MASONRY / BRICK, STEEL, DIMENSIONED LUMBER, BLOCKING, PLYWOOD, NATIVE SOIL, COMPACTED SOIL, GRAVEL.



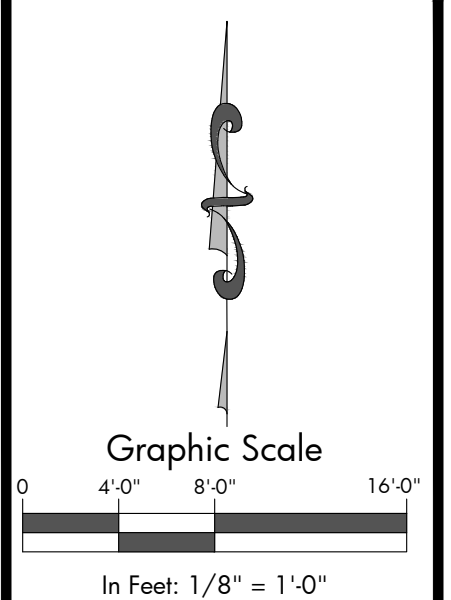
501 Main Street
Fairplay, CO 80440

Table with columns for Date, Revision, and Project Milestone.

Job No: 2018-499.010
Drawn by: KNH
Date: 11/11/2021
QC: JEP | PE: KNH
File: General Notes

Title: General Notes

Dwg No. S0.00



SGM
 118 West Sixth Street, Suite 200
 Glenwood Springs, CO 81601
 970.945.1004 www.sgm-inc.com



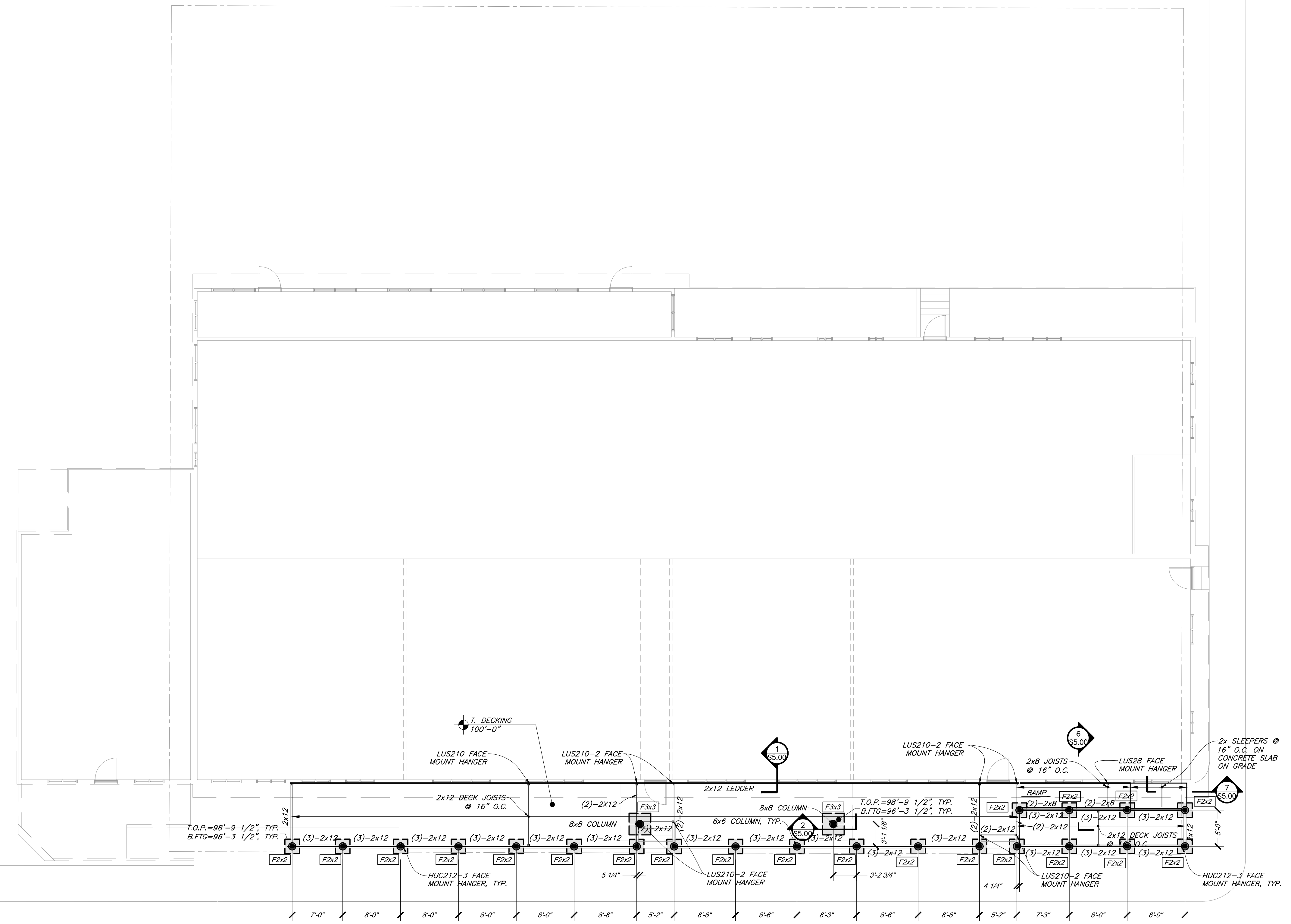
501 Main Street
 Fairplay, CO 80440

Rev.	Date	By	Description
1	02/03/22	JEP	ISSUE DECK AND RAMP FRAMING
2	08/05/22	JEP	AMEND DECK FOR RAMP

Job No. 2018-499.010
 Drawn by: KNH
 Date: 11/11/2021
 QC: KNH
 File: Foundation Plan

Title:
Foundation and Deck Framing Plan

Dwg No.
S1.00
 Of: 4

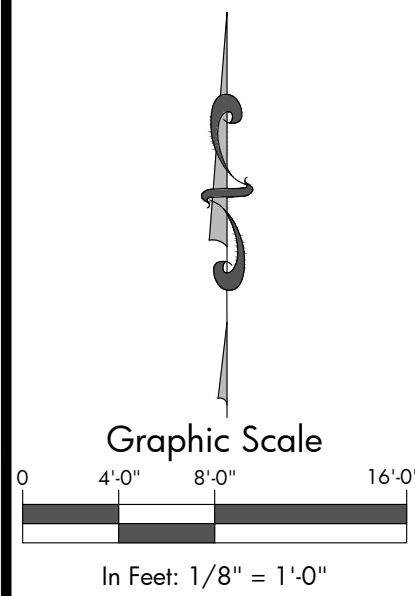


SPREAD FOOTING SCHEDULE				
PLAN ID	WIDTH	LENGTH	DEPTH	REINFORCING
F2x2	2'-0"	2'-0"	12"	(2) #5'S EACH WAY
F3x3	3'-0"	3'-0"	12"	(3) #5'S EACH WAY

1 FOUNDATION AND DECK FRAMING PLAN
 SCALE: 1/8" = 1'-0"

- FOUNDATION PLAN NOTES:**
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 - SEE SHEET S0.00 FOR STRUCTURAL GENERAL NOTES AND SHEET S5.00 FOR STRUCTURAL SECTIONS AND DETAILS.
 - DIMENSIONS ARE TO FACE OF CONCRETE U.N.O.

I:\projects\2018\2018-499-Fairplay\501 Main Street\Foundation Plan.dwg Plotter: 6/10/2022 11:56 AM By: John Parich



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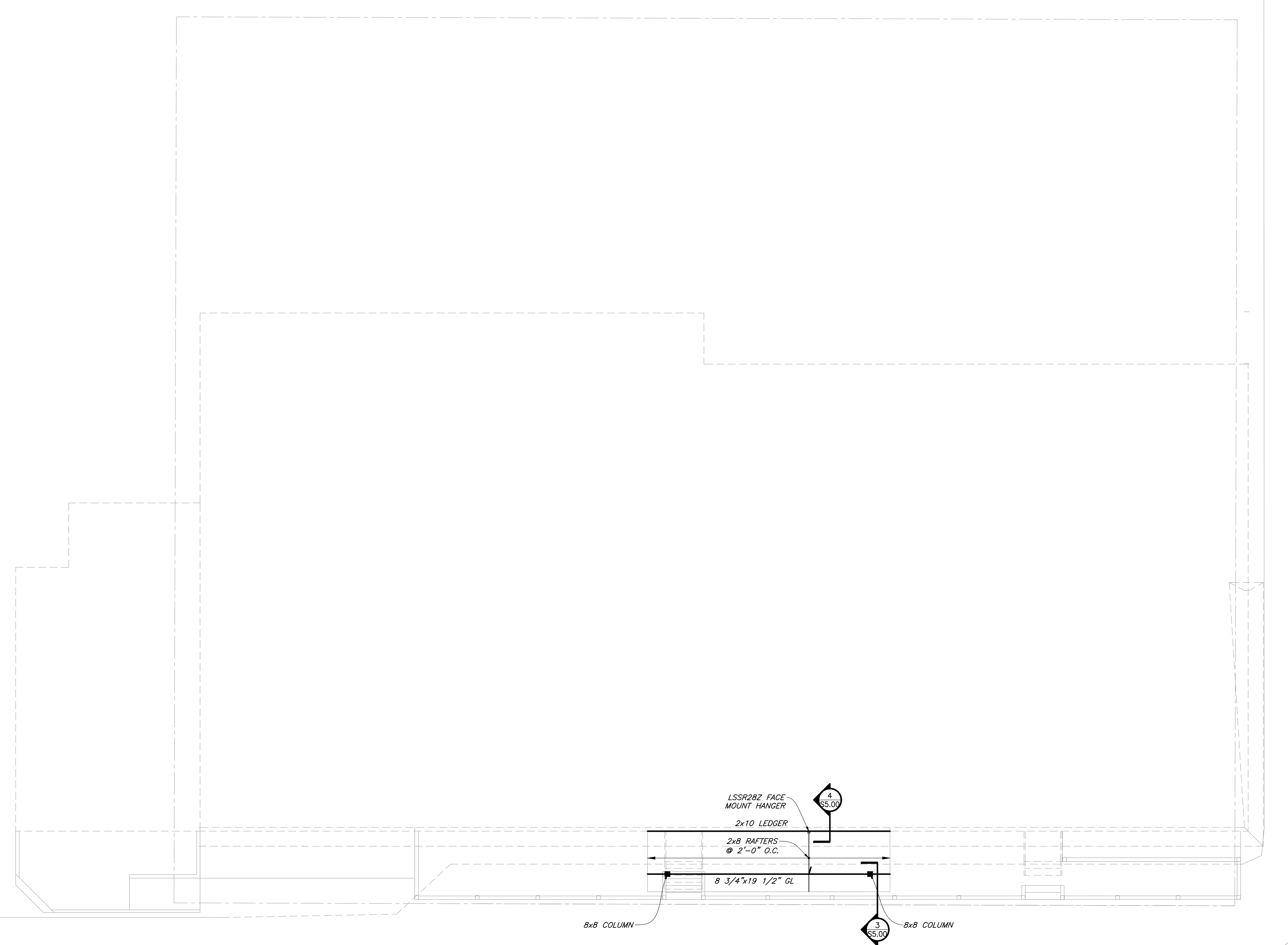
#	Revision	Date	By:

Job No: 2018-499.010
 Drawn by: KNH
 Date: 11/11/2021
 QC: KNH
 File: JEP | PE: KNH
 Roof Plan

Title:
Roof Framing Plan

Dwg No.
S1.01

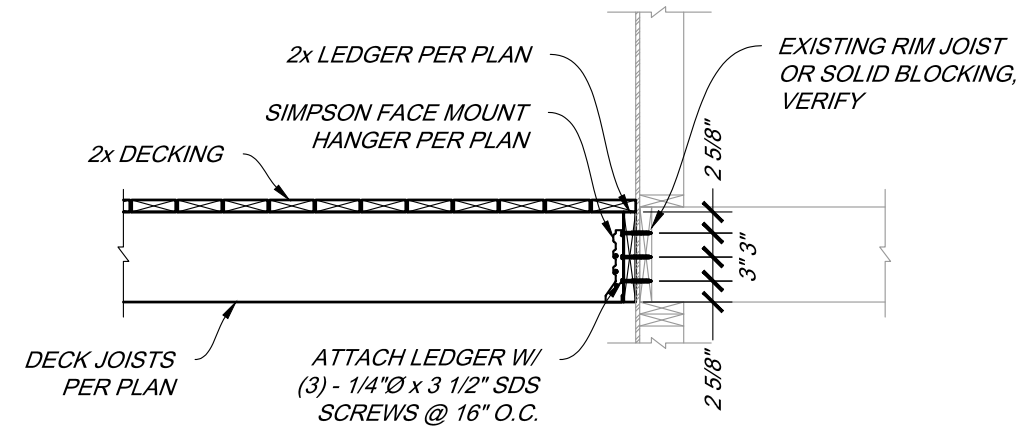
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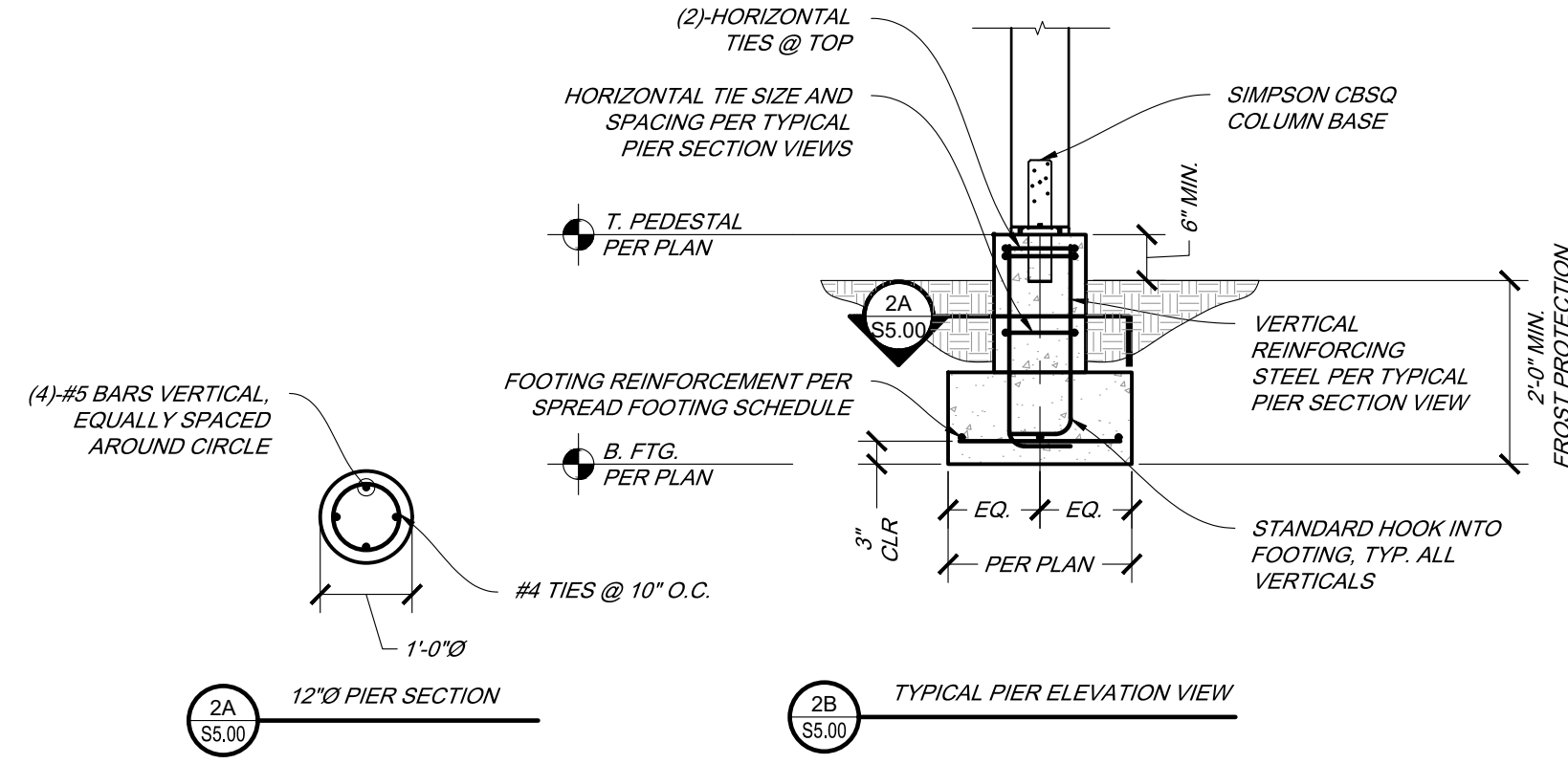
1
ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

FRAMING PLAN NOTES:
 1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 2. SEE SHEET S0.00 FOR STRUCTURAL GENERAL NOTES AND SHEET S5.00 FOR STRUCTURAL SECTIONS AND DETAILS.

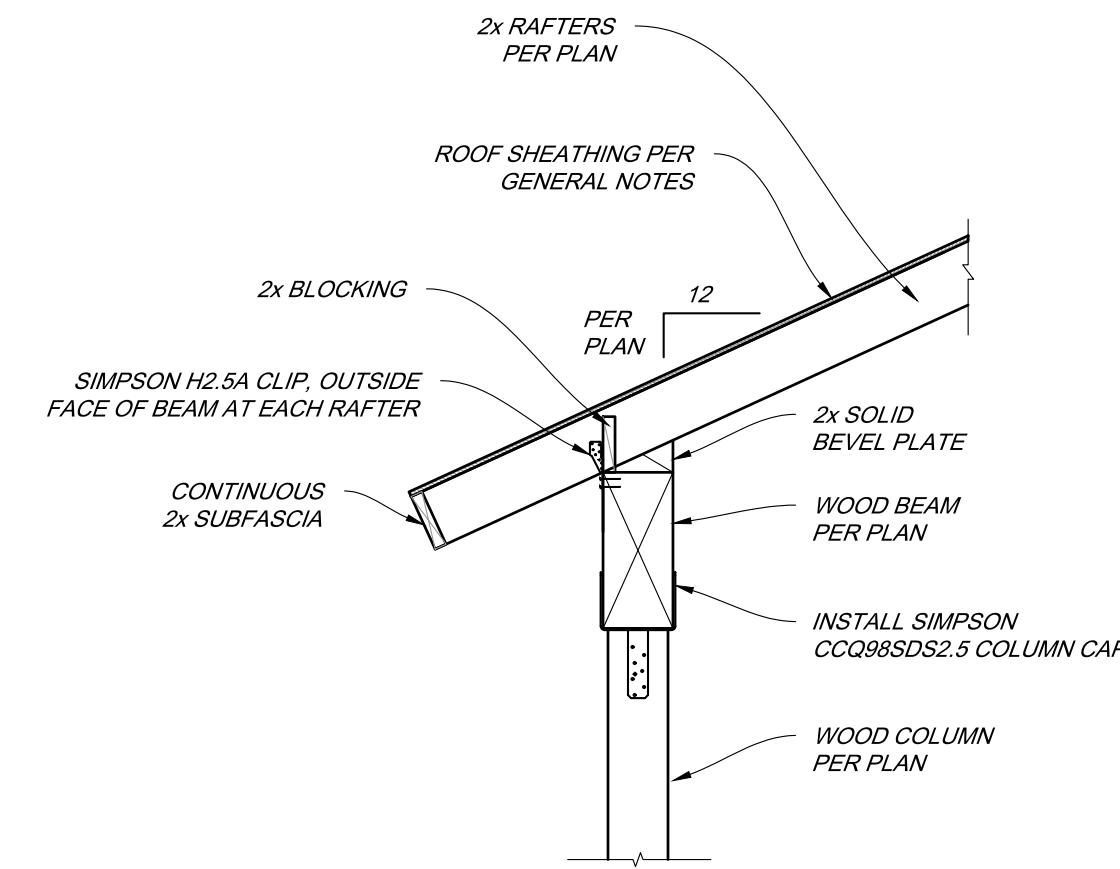
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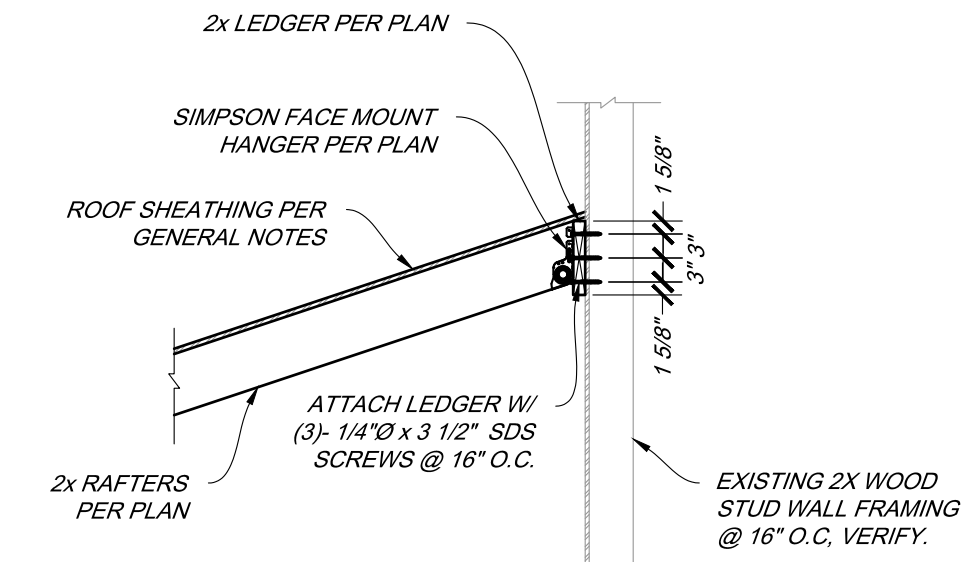
1 DECK LEDGER CONNECTION DETAIL
SCALE: 1/2" = 1'-0"



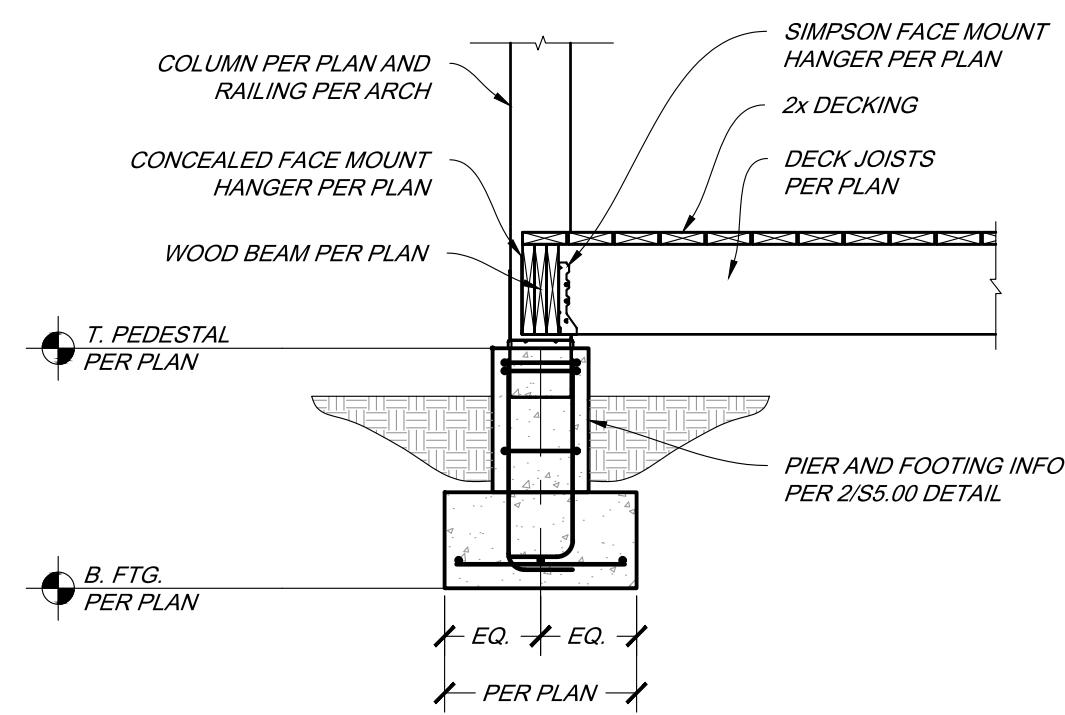
2 TYPICAL CONCRETE PIER DETAILS
SCALE: 1/2" = 1'-0"



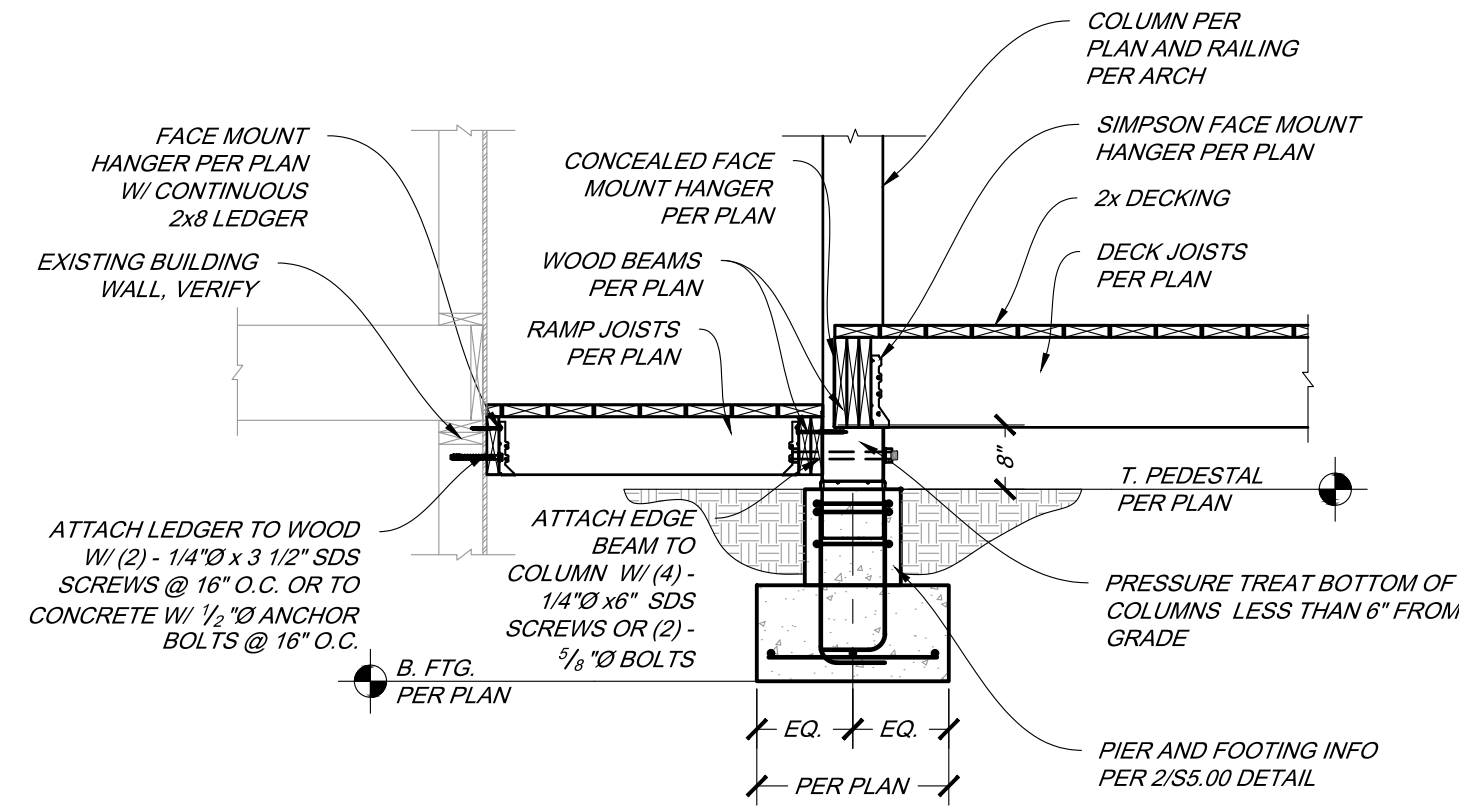
3 TYPICAL ROOF BEARING DETAIL
SCALE: 1/2" = 1'-0"



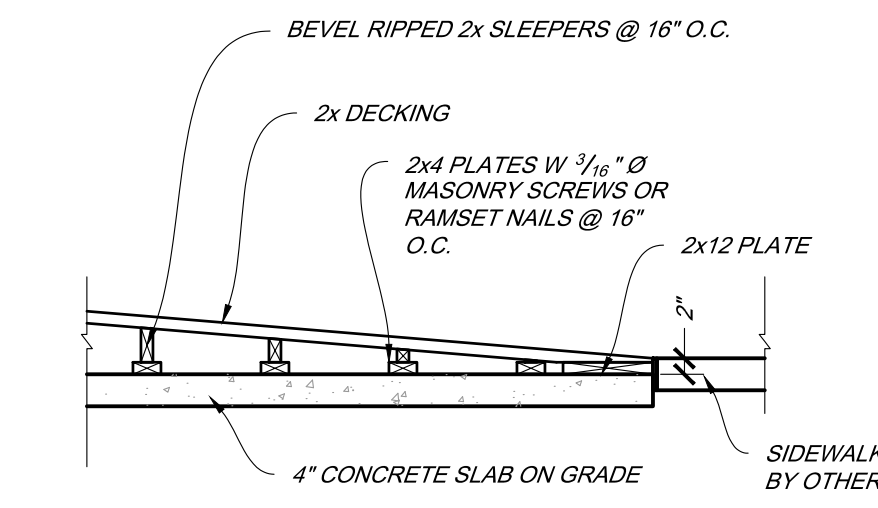
4 ROOF LEDGER CONNECTION DETAIL
SCALE: 1/2" = 1'-0"



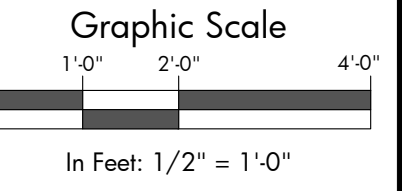
5 DECK EDGE FRAMING DETAIL
SCALE: 1/2" = 1'-0"



6 RAMP FRAMING DETAIL
SCALE: 1/2" = 1'-0"



7 RAMP END DETAIL
SCALE: 1/2" = 1'-0"



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By:	Date:
JEP	03/03/22

Revision:	Description:
1	ISSUE CHECK AND LOD RAMP FRAMING

Job No. 2018-499.010
Drawn by: KNH
Date: 11/11/2021
QC: KNH
File: JEP | PE: Details

Title:
Details

Dwg No.
S5.00

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